

**COMPATIBILITY INTERFACE PLAN**  
**GLENWAY**

Newmarket, Ontario

PREPARED FOR MARIANNEVILLE DEVELOPMENTS

BY



**ZELINKA PRIAMO LTD**  
*A Professional Planning Practice*

WITH

**York**  
**Urbanist**



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## TABLE OF CONTENTS

	Page No.
<b>1.0 PURPOSE.....</b>	<b>1</b>
<b>2.0 PRINCIPLES.....</b>	<b>1</b>
<b>3.0 OVERVIEW OF COMPATIBILITY PLAN .....</b>	<b>2</b>
<b>4.0 COMPATIBILITY PLAN.....</b>	<b>3</b>
4.1 Interface 1 (Infill Singles).....	3
• Sections 1A, 1B	
4.2 Interface 2 (Conventional Singles) .....	7
• Sections 2A, 2B, 2C, 2D	
4.3 Interface 3 (Condo Singles: Walk-Up).....	24
• Section 3	
4.4 Interface 4 (Condo Bungalows: Level & Walk-Up).....	27
• Sections 4A, 4B	
4.5 Interface 5 (Multi-Family).....	30
• Sections 5A, 5B	

## 1.0 PURPOSE

The purpose of this report is to help ensure the compatibility of the development of the Marianneville Developments Limited plan of subdivision for Glenway with established adjacent residential uses.

The conditions of draft approval for the plan of subdivision include the following requirement: *“Prior to final approval, the owner shall agree to provide a Compatibility Interface Plan where this draft Plan of Subdivision abuts existing residential development to the satisfaction of the Town. The Compatibility Interface Plan may include but not be limited to fencing, retaining walls, landscaping, and grading, in the context of building setbacks and height, in an effort to ensure compatibility of this draft Plan of Subdivision with the established adjacent residential uses.”*

In general land use terms, the Marianneville plan of subdivision, and the related land uses permitted by the approved Official Plan and Zoning By-law, have been planned to ensure land use compatibility.

This report sets out overall principles of development designed to promote and enhance compatibility at a more detailed interface level, and presents a plan to implement principles on an area-specific basis.

## 2.0 PRINCIPLES

The following principles will be applied when considering the treatment of interfaces:

- Separation appropriate to the building type, mass, and height.
- Recognition of grading conditions in creating and mitigating potential issues of compatibility.
- Selection of fencing and landscaping options to minimize disruption of existing landscaping, and to provide appropriate privacy and enjoyment of private amenity areas.
- Judicious use of retaining walls to promote retention of landscaping and to allow for matching grades at lot lines.

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### 3.0 OVERVIEW OF COMPATIBILITY PLAN

The ~~Estates of new~~ Glenway subdivision is located within the Glenway community in the northwesterly part of the Town of Newmarket, generally south of Davis Drive and west of Yonge Street. Following the fairways and other areas of a former golf course, the subdivision flows between and among areas of existing, mostly single detached, residential development. To match its boundary conditions, the subdivision is primarily devoted to single-detached dwellings, both freehold on new and (to a minor extent) existing public roads, and condominium with POTLs (parcels of tied land) on new private roads.

At its north end, in the vicinity of Davis Drive, the subdivision has two blocks for condominium townhouses, one block of apartments, one block of live-work units and one small neighbourhood commercial block. The live-work and commercial blocks do not abut any existing dwellings, and are not examined by this report.

Many areas of existing development will have, through this plan of subdivision, new areas of public parkland, public stormwater ponds and associated public open space areas abutting them. These areas are subject to separate design considerations and are not addressed in this report.

Blocks 164 and 165, as well as Lots 116 to 118 are identified as a possible site for an elementary school of the York Region District School Board. The parts of these Blocks and lots which abut existing residential development are addressed under the assumption that they will be developed for their approved residential purposes.

The types of interface conditions encountered in this Plan are as follows:

- Singles to singles
- Multis to singles
- Level grades
- Walk-out conditions
- Walk-up conditions
- Existing landscaping: well-to-sparsely landscaped
- Existing fence conditions



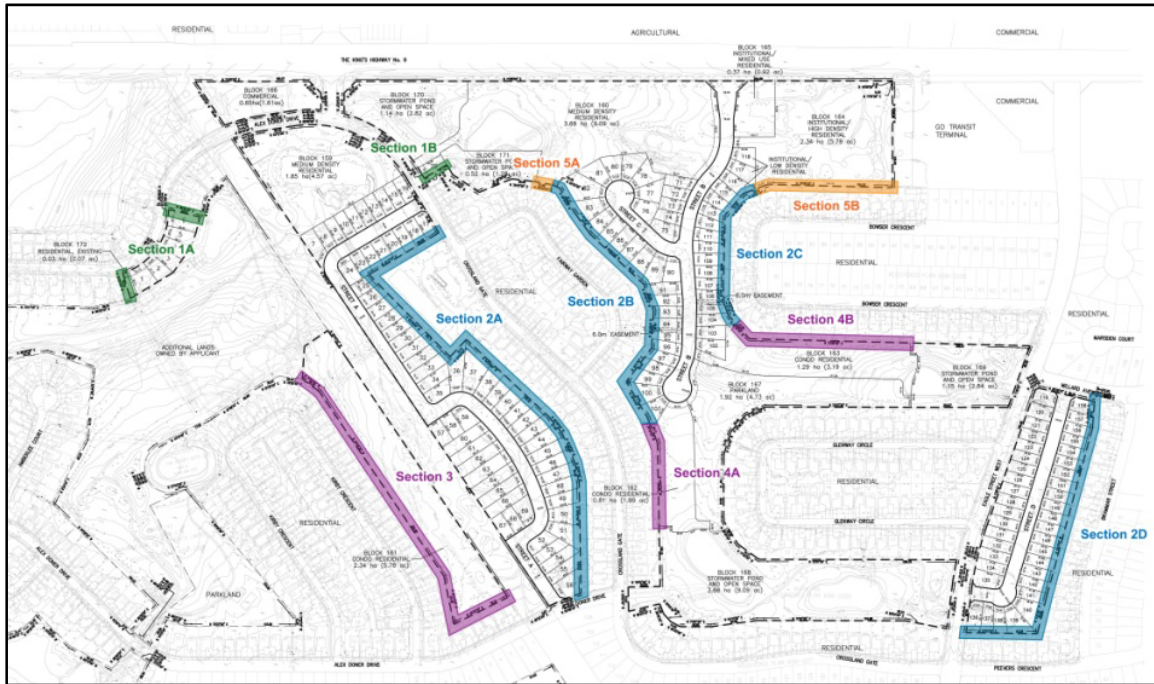


Figure 1: Index Map of Interfaces

## 4.0 COMPATIBILITY PLAN

### 4.1 INTERFACE 1 (INFILL SINGLES)

#### Description

This interface is between existing single detached side yards and the new single detached lots.



Figure 2: Existing Conditions of Section 1A

### Existing Conditions

1A Lot 1 is adjacent to a lot whose edge is a hedge along a decorative metal fence adjacent to a group of trees. Lot 6 is adjacent to a chainlink fence. ~~Existing trees will be removed prior to development.~~ The existing hedge along decorative metal fence adjacent to Lot 1 will be retained, while a small cluster of red pines within Lot 1 will be relocated. Select street trees will be removed to address driveway location conflicts. Refer to Tree Preservation Plan for additional details and information.

1B Lot 70 shares the south lot line with a wood fenced existing rear yard. The existing trees will be removed prior to development.

## Compatibility Plan

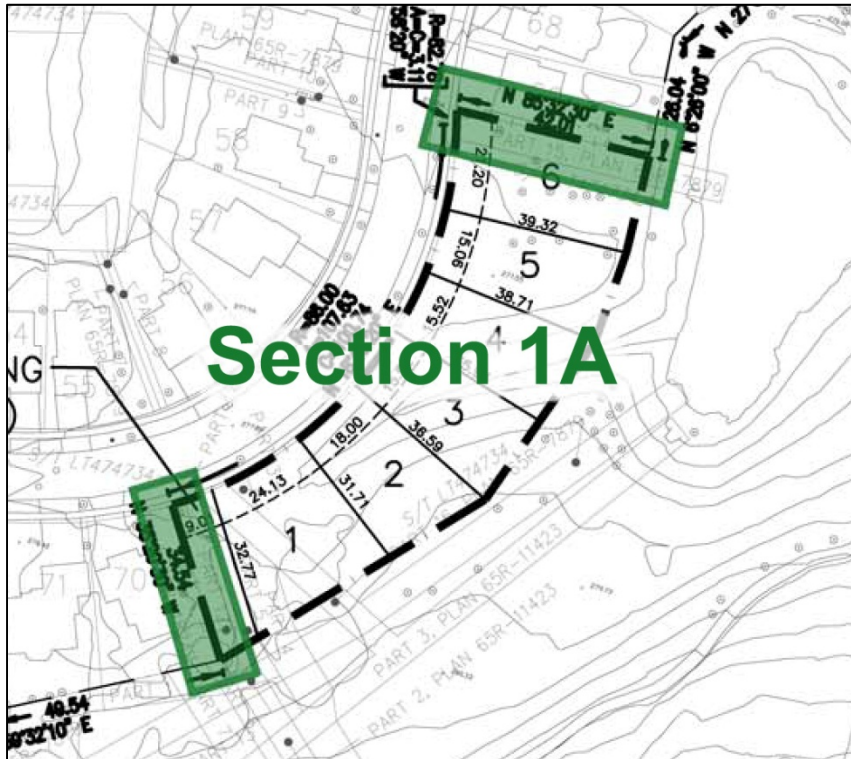


Figure 3: Location of Section 1A

An existing wood privacy fence will be retained between the existing house and Lot 6. The rear of the properties are not presently subject to development and will remain grass.

Lot 1 has an ornamental metal fence that will remain as the separator between the new and existing lots.

Grading, Fencing, Landscaping or special treatments:

Lots 1 and 6 will match grades with adjoining lots.

Lot 70 matches grade with the adjoining property and backs onto a stormwater management pond. The Pond will be planted on the southwest side between the permanent water level and the rear lots of adjoining properties.



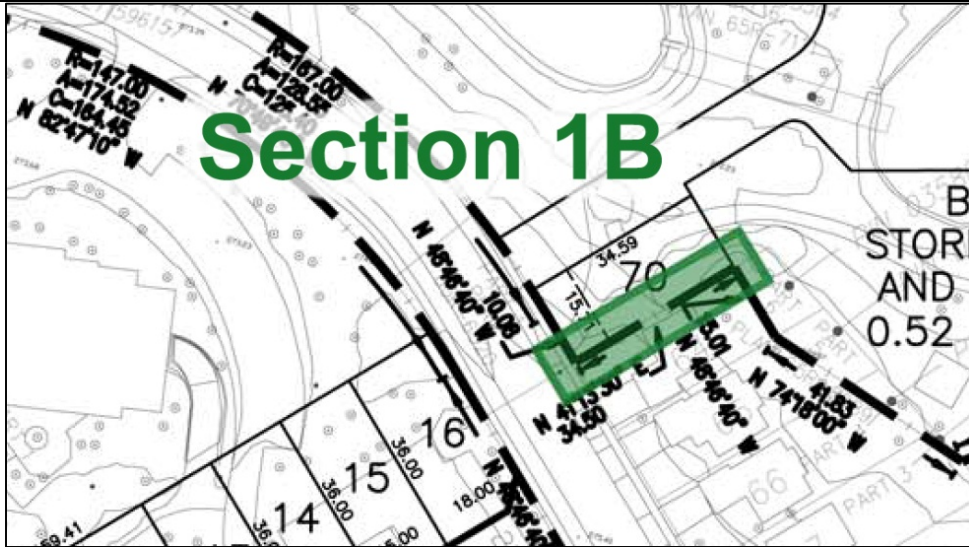


Figure 4: Location of Section 1B



Figure 5: Grading Plan of Section 1B

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Separation: House locations will adhere to municipal bylaws side yard setbacks of 1.2m to 1.8m, dependent upon building height. The side yards will match or be greater than the adjoining homes.

## 4.2 INTERFACE 2 (CONVENTIONAL SINGLES STREETS A, B, C, D)

### Description

This interface is between existing single detached rear yards and proposed single detached lots. A special condition exists where the planned single detached dwellings on Lots 17-33 and Lot 36 abut the 5-storey Manor Green apartment building.

### Existing Conditions



Figure 6: Manor Green Apartments (400 Crossland Gate)

The north side adjacent to Lots 17-23 has a 1.8m high wood privacy fence. The west property boundary of the existing apartment block is defined by a 1.2m high chainlink



fence. The grounds within the apartment fence are landscaped with trees, shrubs and grass to the setback of the building.



Figure 7: Existing Conditions along Section 2A

### Compatibility Plan

Grading will match the elevations at the property lines. Lots 19-23 and 24-33 will be walk-outs, whereby the drainage of rear yards will be to catch basins in the rear yards of new lots.

Separation: House locations, adjacent to the apartments, will adhere to municipal bylaws 8.0m rear yard setbacks. The rear yards will match or be greater (some much greater) than the requirements, due to the varying depths of lots.<sup>1</sup>

Fencing: The existing fencing will be retained and/or repaired to new condition.

Landscaping: No new tree planting is proposed.

Note 1: In many cases, adjacent existing dwellings also have greater rear yard setbacks than required by the zoning. These also contribute to a greater separation distance between new and existing dwellings.

Special Treatments:

- Retaining wall – a (maximum 1.8m) retaining wall will be constructed at the rear of Lots 21 to 36. This will be topped by a wood privacy fence.

2A – Street A

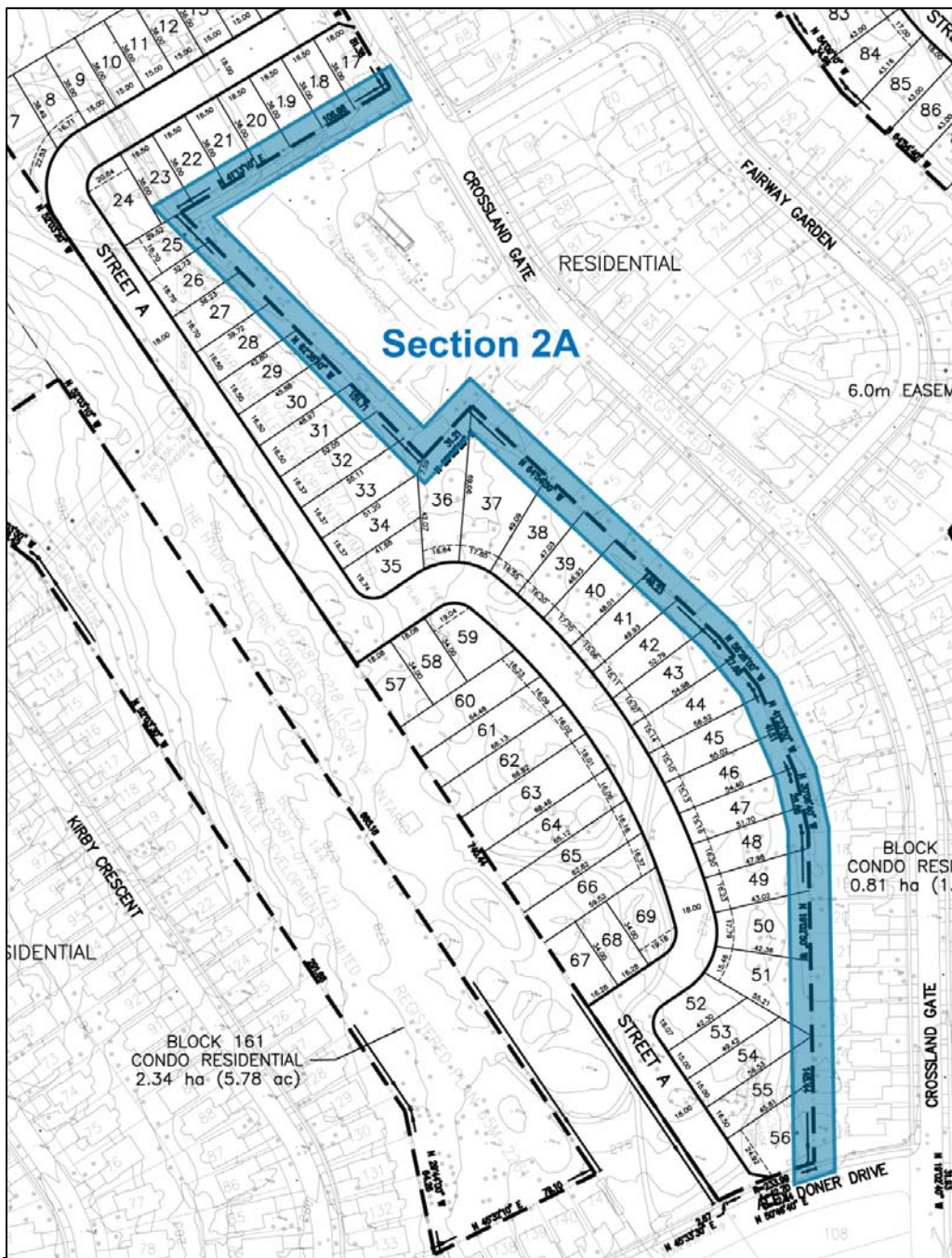


Figure 8: Location of Section 2A



**Existing Conditions:** A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment decks and sheds at or near the rear lot lines as seen in the following pictures.



**Figure 9: Existing Conditions along Section 2A**





Figure 10: Existing Conditions along Section 2A

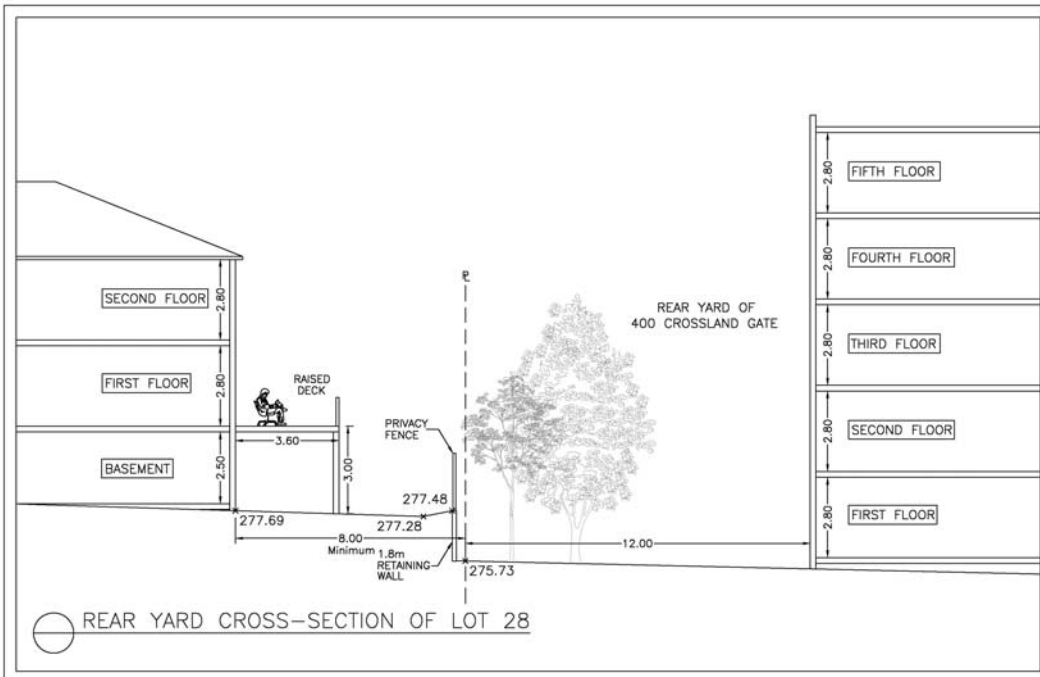


Figure 11: Cross Section of Lot 28

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## Compatibility Plan

Grading will match the elevations at the property lines. Lots 37-55 will have walk-out or terrace-out conditions whereby, the drainage of rear yards will be to catch basins in the rear yards of new lots.

Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 15.5m rear yard setbacks, which are double the standard R1-D setbacks. The rear yards will match or be greater than the requirements, due to the varying depths of lots, and will be greater than existing abutting rear yards.

Fencing: The existing fencing will be retained and/or repaired to new condition. Three fence gates will be removed and replaced with matching fence. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier.

Landscaping: One row of deciduous trees, 7m apart, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.

### Special Treatments:

- Extra Lot Depths – All required rear yards exceed the rear yard requirements for adjacent lots. The 15.5m requirement applying to Lots 37-51 and 53-55 is more than double the standard requirement.
- Deck Treatment Lots 48-56 – In order to minimize loss of privacy for adjacent homes, these lots have extra-ordinary restrictions on both the height of decks (2.0m) and the maximum encroachment into their larger rear yards (3.6m).
- Fencing Treatment Lots 25-56 – Where these lots abut existing residential development, the interface shall have a 2m high wood privacy fence on the **Marianneville new Glenway** lands parallel to the existing fencing.

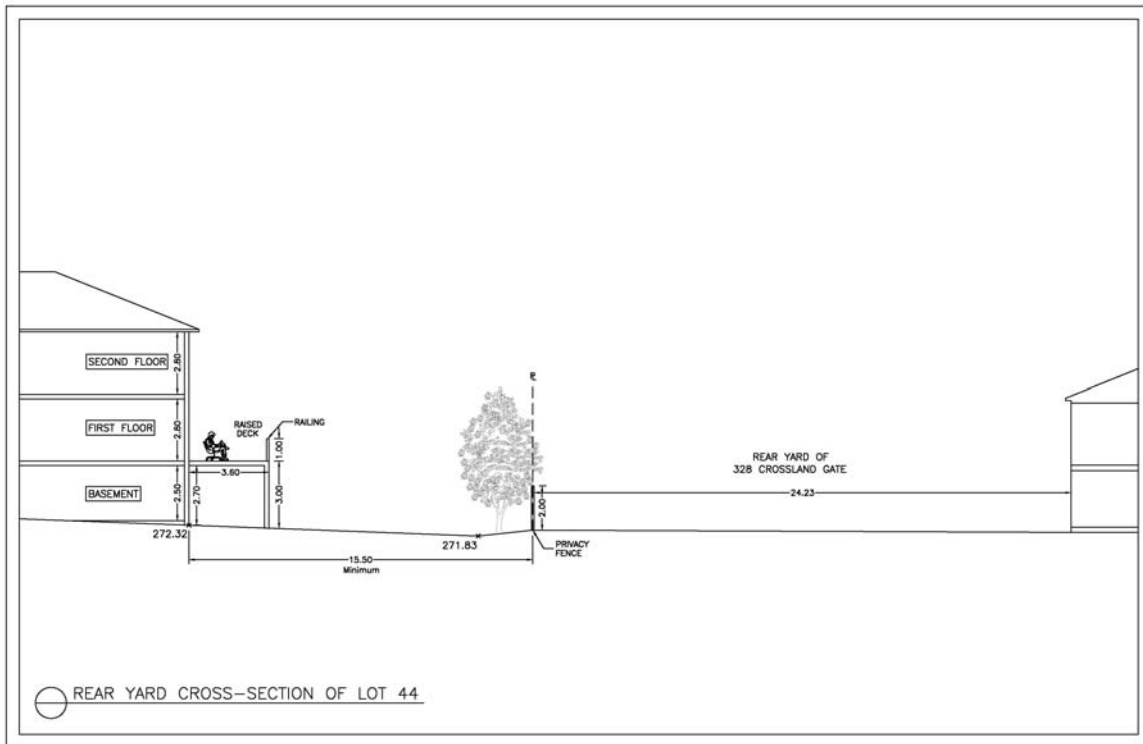


Figure 12: Cross Section of Lot 44

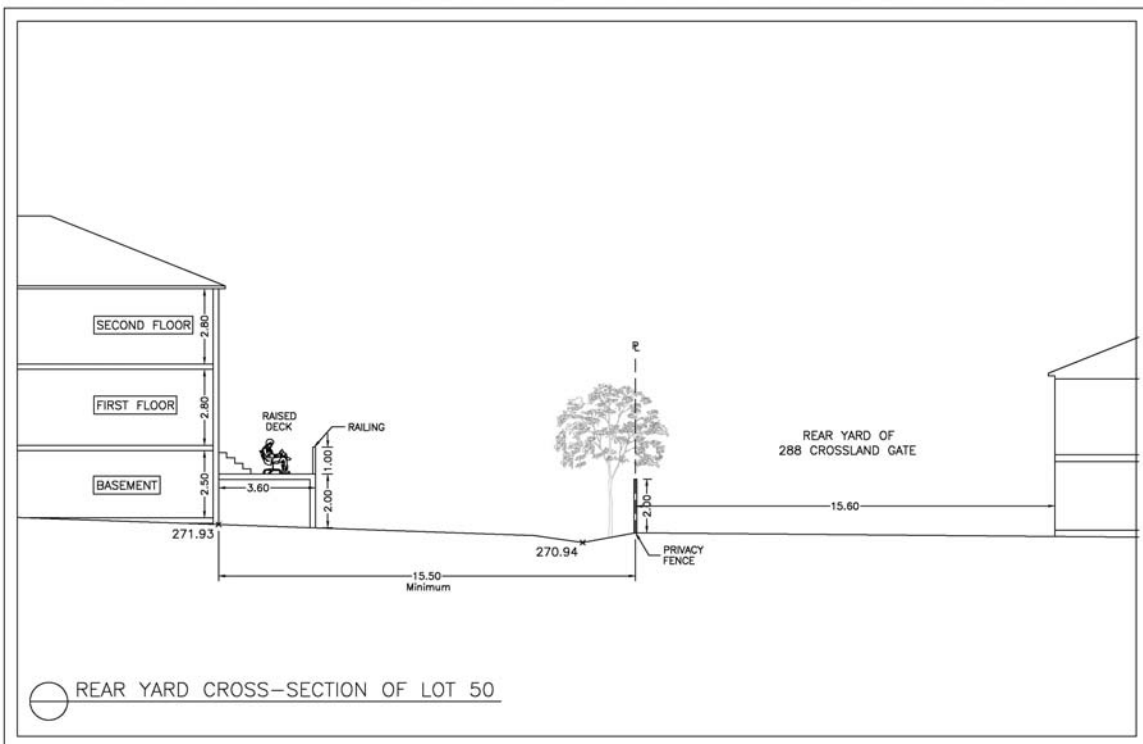


Figure 13: Cross Section of Lot 50

## 2B Streets B and C

### Existing Conditions:



Figure 14: Existing Conditions along Section 2B

A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment decks and sheds at or near the rear lot lines as seen in the following pictures.



Figure 15: Existing Conditions along Section 2B

### Compatibility Plan

Grading will match the elevations at the property lines. Lots 84-88, 91-95, and 99-100 will be walk-outs whereby, the drainage of rear yards will be to catch basins in the rear yards of new lots.

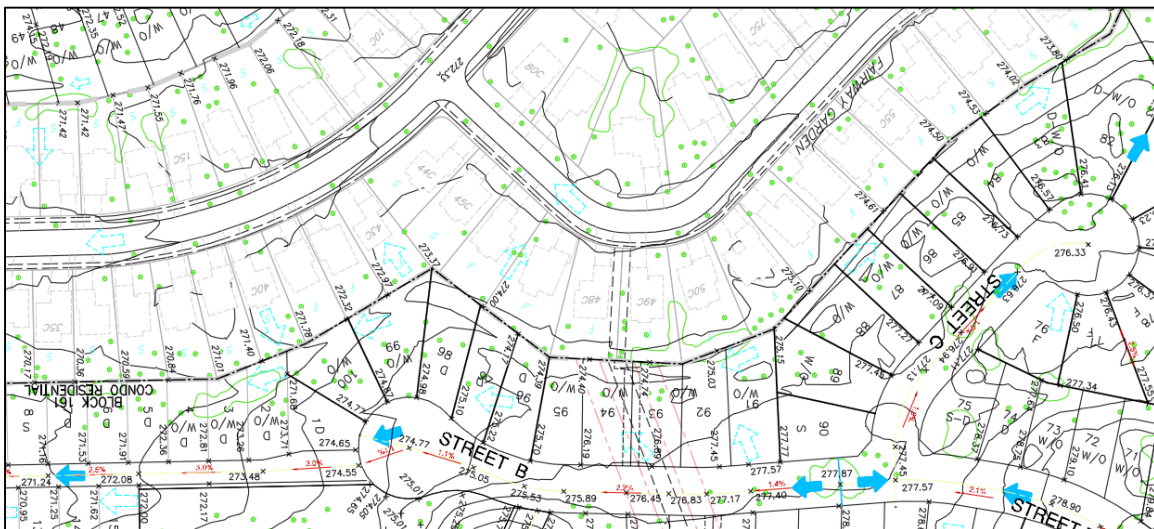


Figure 16: Grading Plan for Section 2B



Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 8.0m rear yard setbacks. The rear yards will match or be greater than the requirements, due to the varying depths of lots.

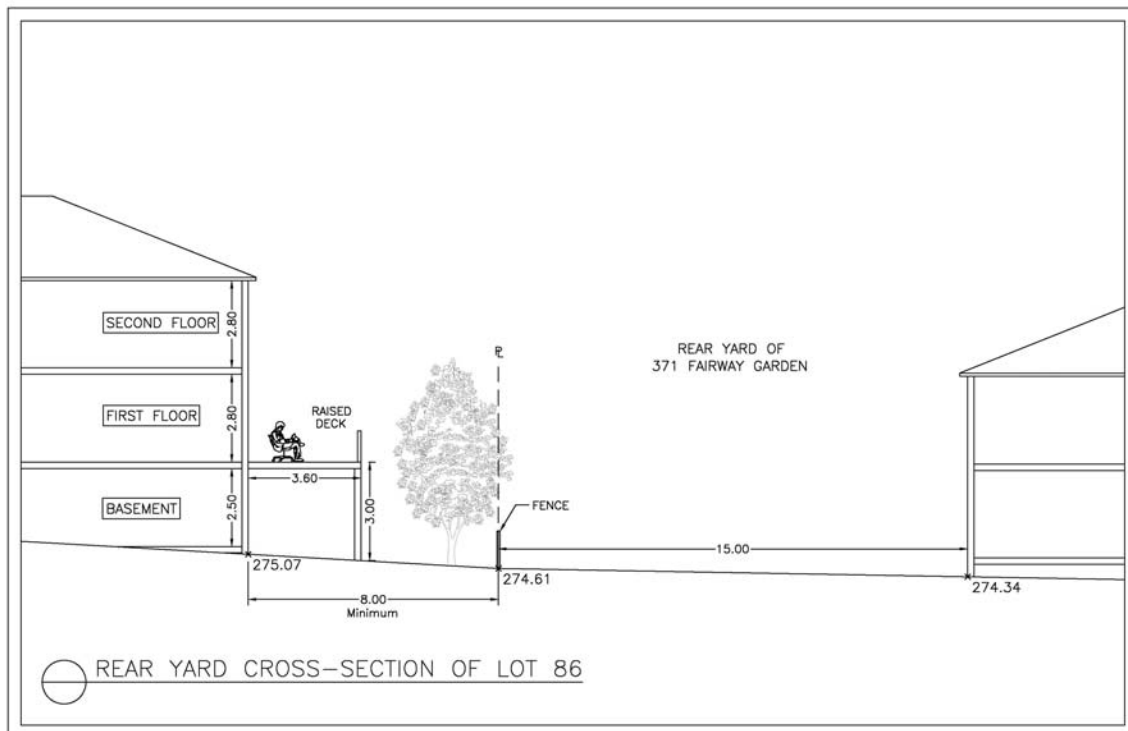


Figure 17: Cross Section of Lot 86

Fencing: The existing fencing will be retained and/or repaired to new condition. Two fence gates will be removed and replaced with matching fence. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier.

Landscaping: One row of deciduous trees, 7m apart and within 3m of the rear property line, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.

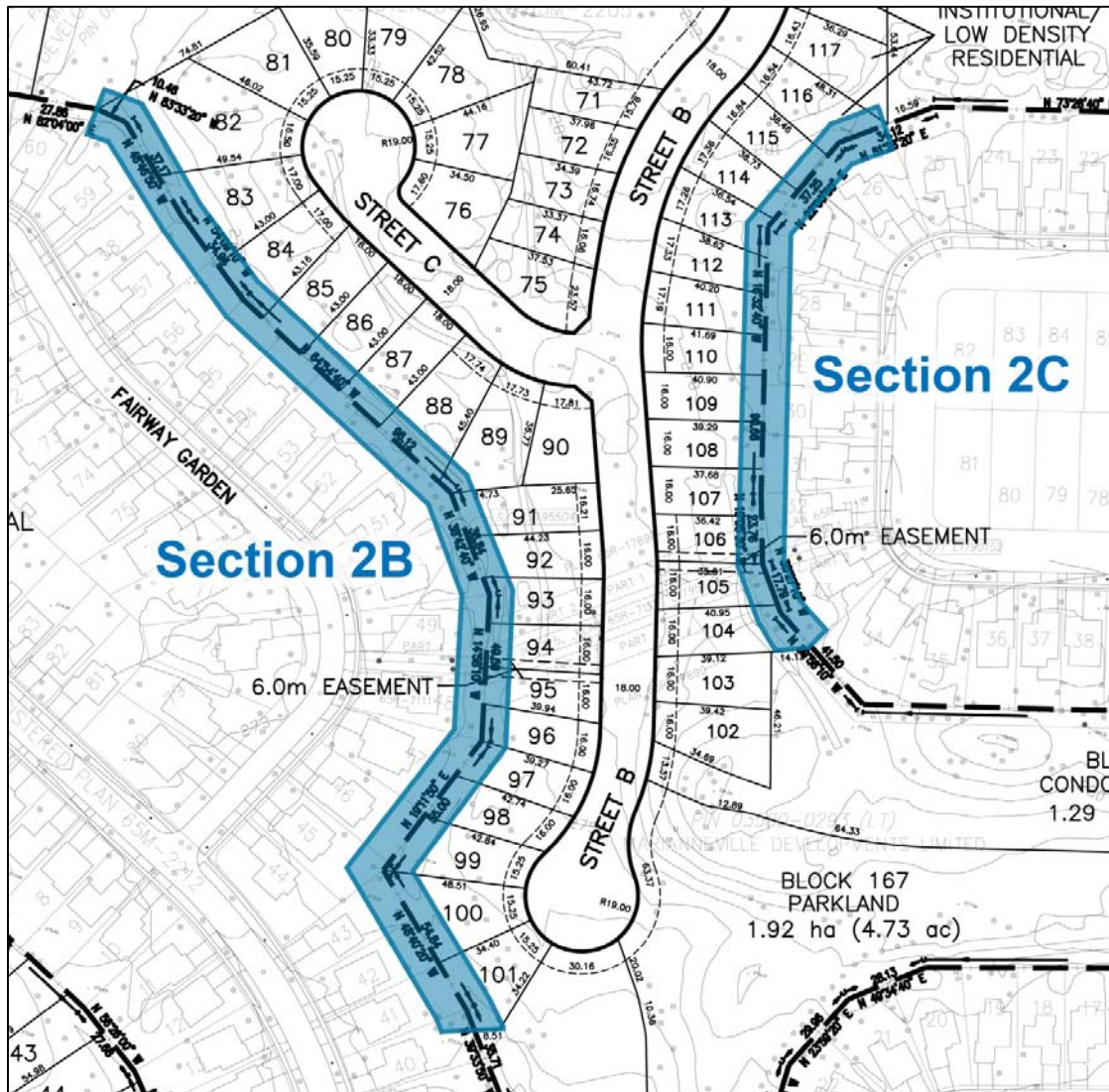


Figure 18: Locations of Sections 2B & 2C

### 2C – Street B

**Existing conditions:** A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment decks and sheds at or near the rear lot lines.



**Figure 19: Existing Conditions along Section 2C**

### **Compatibility Plan**

Grading will match the elevations at the property lines. Lots will be front draining from the rear yards with no impact on existing residential lands.

Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 8.0 rear yard setbacks. The rear yards will match or be greater than the requirements, due to the varying depths of lots.

Fencing: The existing fencing will be retained and/or repaired to new condition. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier.

Landscaping: One row of deciduous trees, 7m apart and within 3m of the rear property line, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.



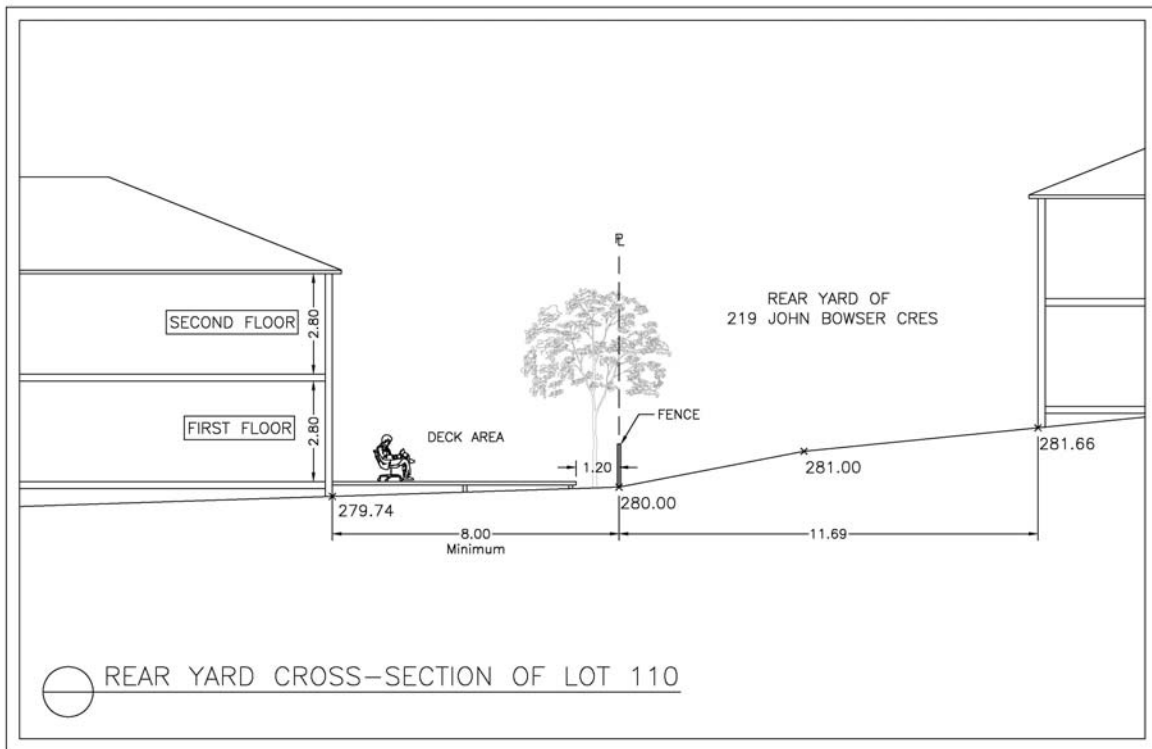


Figure 20: Cross Section of Lot 110

## 2D – Street D

**Existing Conditions:** A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment, retaining walls, decks and sheds at or near the rear lot lines as seen in the pictures on this and the following page.

### Compatibility Plan

Grading will match the elevations at the property lines. Lots will be front draining from the rear yards with no impact on existing residential lands.

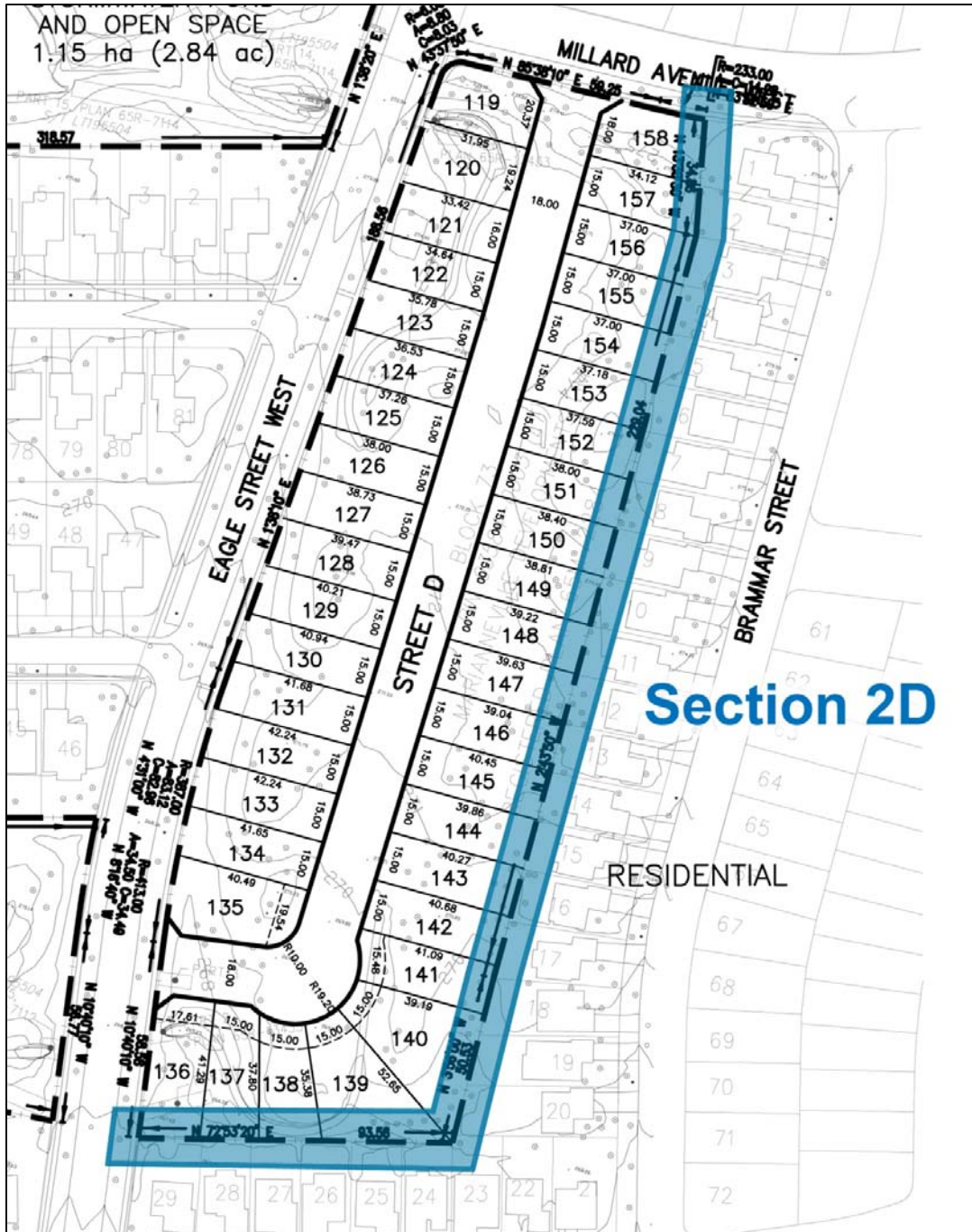


Figure 21: Location of Section 2D



Figure 23: Existing Conditions along Section 2D



Figure 22: Existing Conditions along Section 2D





**Figure 24: Existing Conditions along Section 2D**

Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 8.0m rear yard setbacks. The rear yards will match or be greater than the requirements, due to the varying depths of lots.

Fencing: The existing fencing will be retained and/or repaired to new condition. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier.

Landscaping: One row of deciduous trees, 7m apart and within 3m of the rear property line, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.

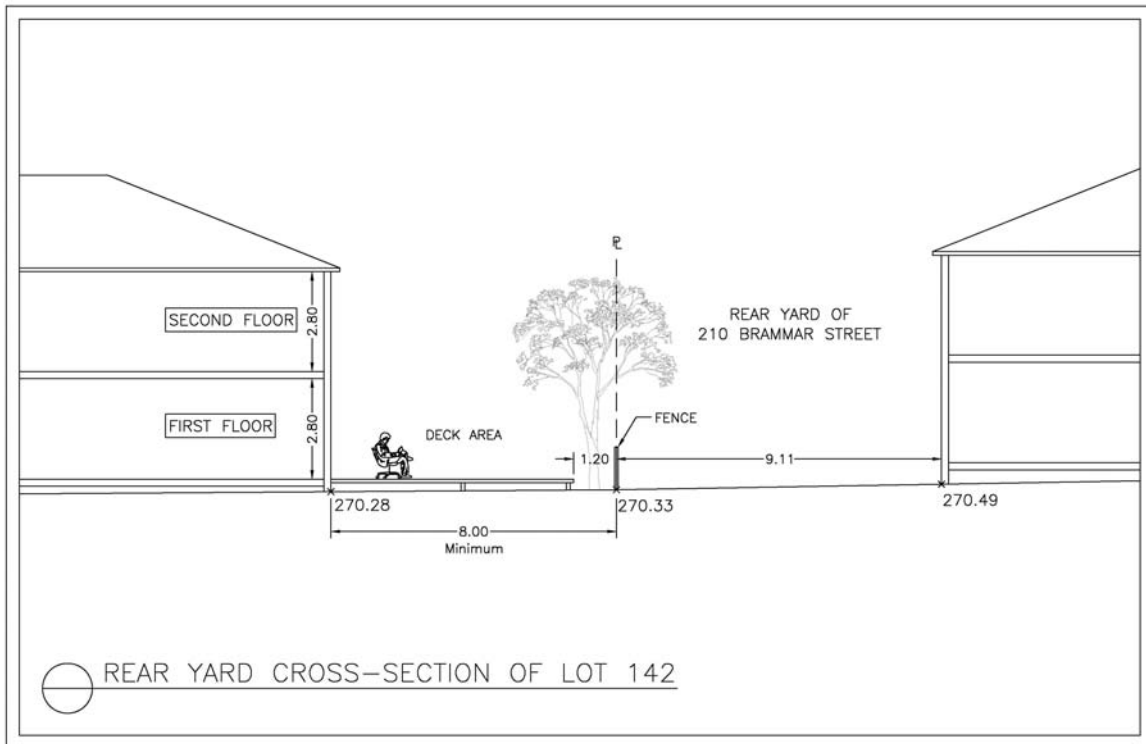


Figure 26: Cross Section of Lot 142

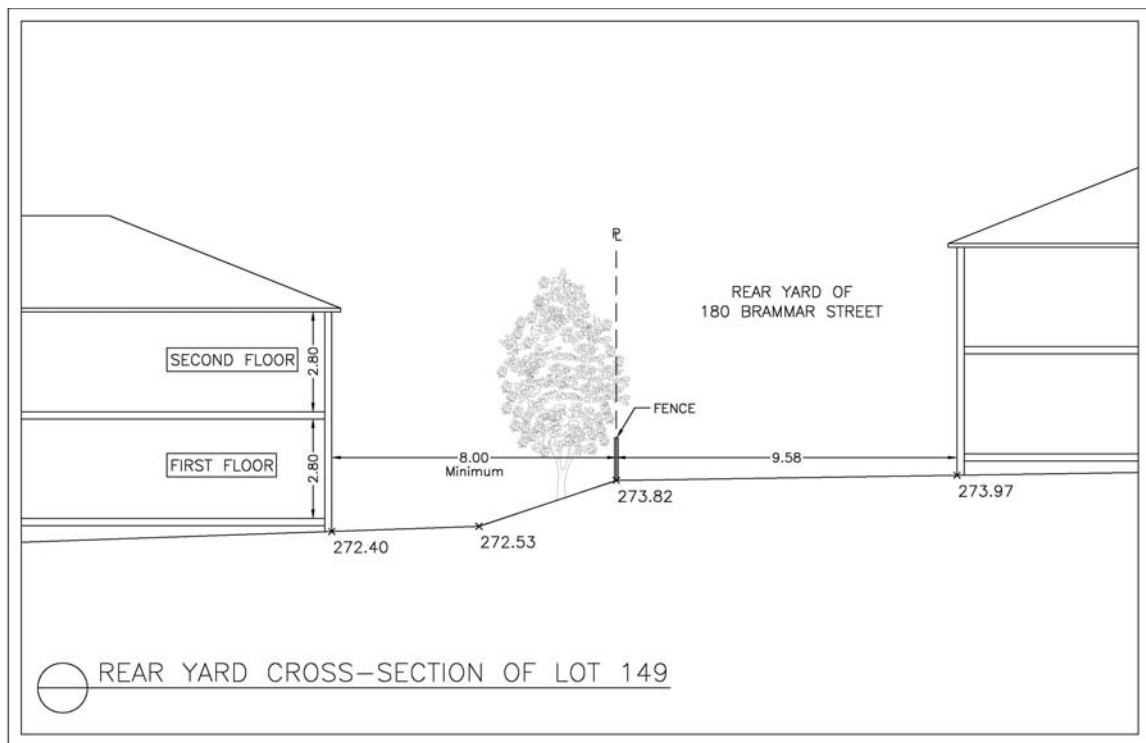


Figure 25: Cross Section of Lot 149

### 4.3 INTERFACE 3 (CONDO SINGLES: WALK-UP)

#### Description

This is the interface between the rear yards of the existing single detached dwellings on the east leg of Kirby Crescent and the proposed single detached condominium lots on Block 161.

#### Existing Conditions:



**Figure 27: Existing Conditions along Section 3**

A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment, retaining walls, decks and sheds at or near the rear lot lines as seen in the picture on this page. There are existing trees that will be retained within the proposed development lands adjacent to the existing rear yards.



### Compatibility Plan

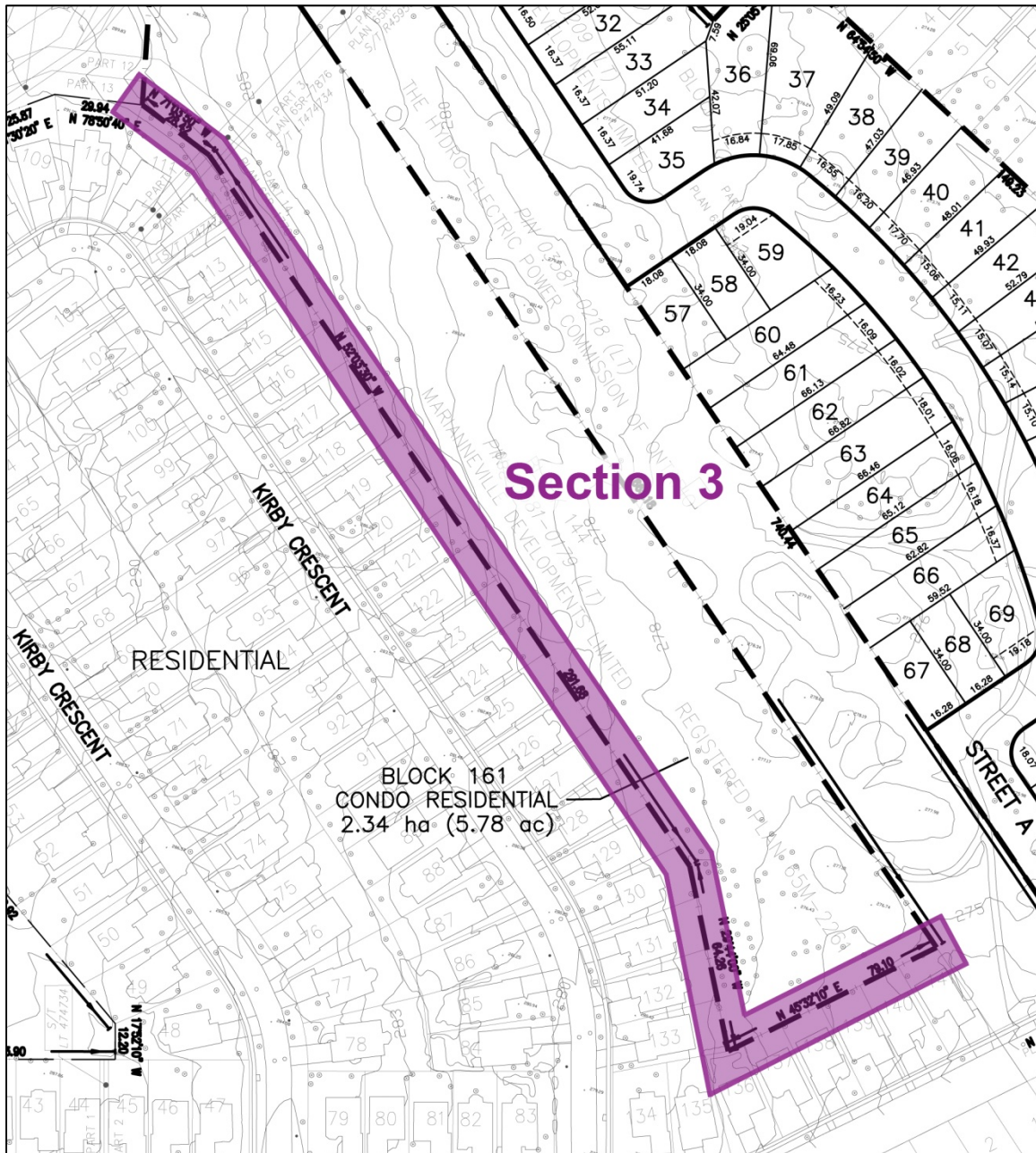


Figure 28: Location of Section 3

Grading: will match the elevations at the property lines. Lots will be front draining from the rear yards, with no impact on existing residential lands. Grading will be designed to protect some existing trees on deep lots.

Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 8.0m rear yard setbacks. The rear yards will match or be greater than the requirements.

Fencing: The existing fencing will be retained and/or repaired to new condition. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier. Three gates will be replaced by fencing to match existing.

Landscaping: One row of deciduous trees, 7m apart and within 3m of the rear property line, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.

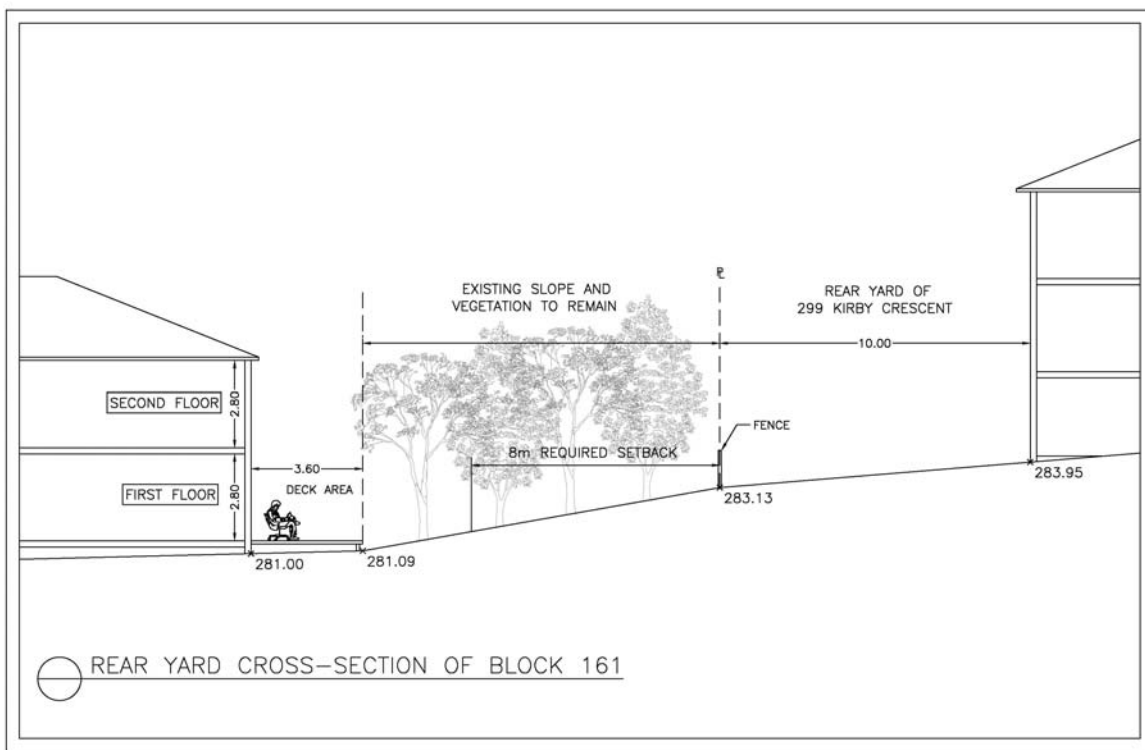


Figure 29: Cross Section of Block 161



#### 4.4 INTERFACE 4 (CONDO BUNGALOWS: LEVEL & WALK-UP)

##### Description

This is the interface between the rear yards of the existing single detached dwellings on Crossland Gate and Bowser Crescent and the proposed single detached condominium lots on Blocks 162 and 163.

##### Existing Conditions

A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment, retaining walls, decks and sheds at or near the rear lot lines.

##### Compatibility Plan

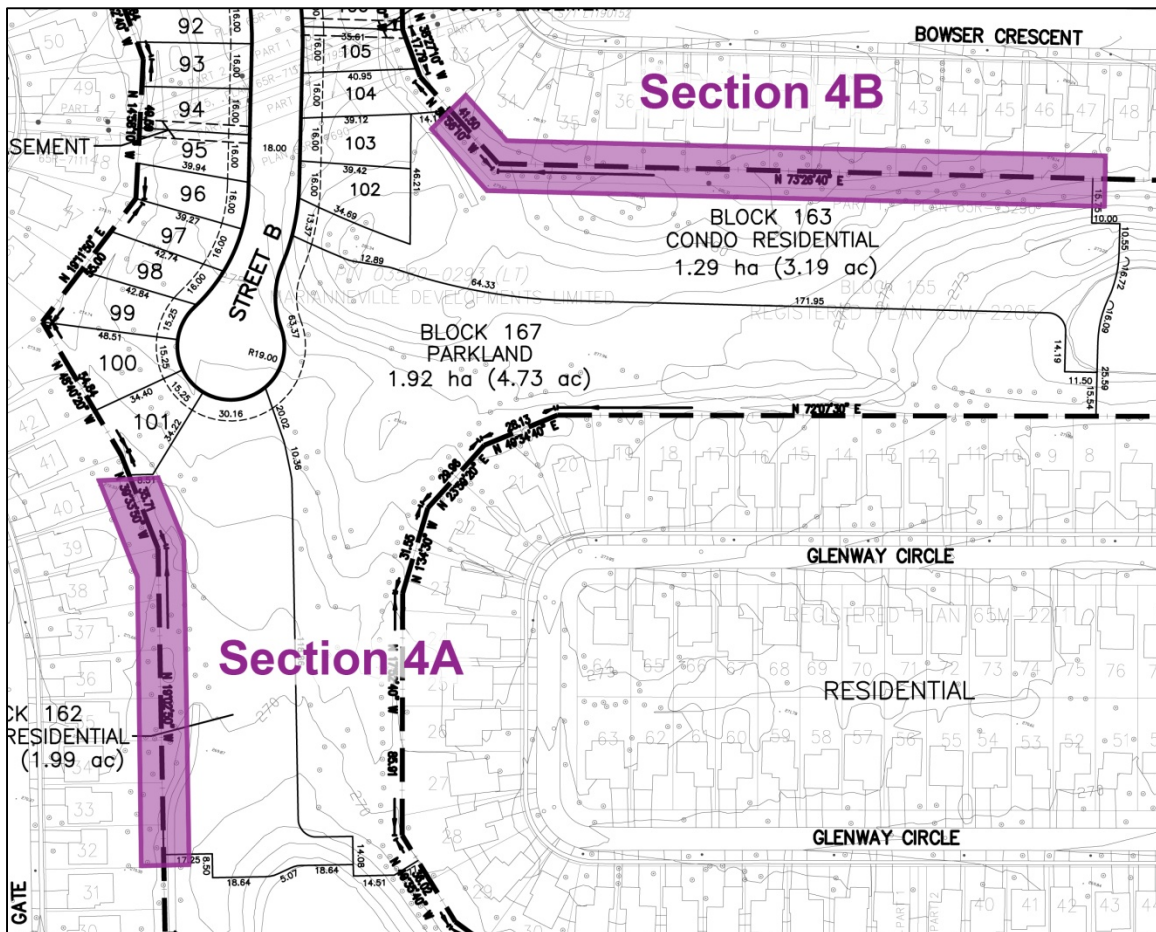


Figure 30: Location of Sections 4A & 4B

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Grading: ~~Proposed POTLS 2-7 on Block 162 will have raised decks.~~ POTLS 2-4 of Block 162 are walkouts. These POTL rear yard elevations are low relative to adjacent existing dwellings. Drainage will be rear draining to catchbasins in these proposed lots. The remainder of the POTLS on Block 162 and all POTLS on Block 163 will be front draining with no impact on existing residential properties. Block 163 POTLS will have a substantially lower elevation than adjacent existing lots to the north.

Separation: House locations, adjacent to the existing singles, will adhere to municipal bylaws 8.5m rear yard setbacks. The rear yards will match or be greater than the requirements of the bylaw.

Fencing: The existing fencing will be retained and/or repaired to new condition. Where shrubs or hedges intrude into the fence, the fence will be retained as is, so as not to damage the existing visual barrier.

Landscaping: One row of deciduous trees, 7m apart and within 3m of the rear property line, will be planted adjacent to the lots where no trees or hedges exist within 3m of rear property boundary of adjacent lots. Refer to Landscape Plan for detailed information on existing and proposed plantings.

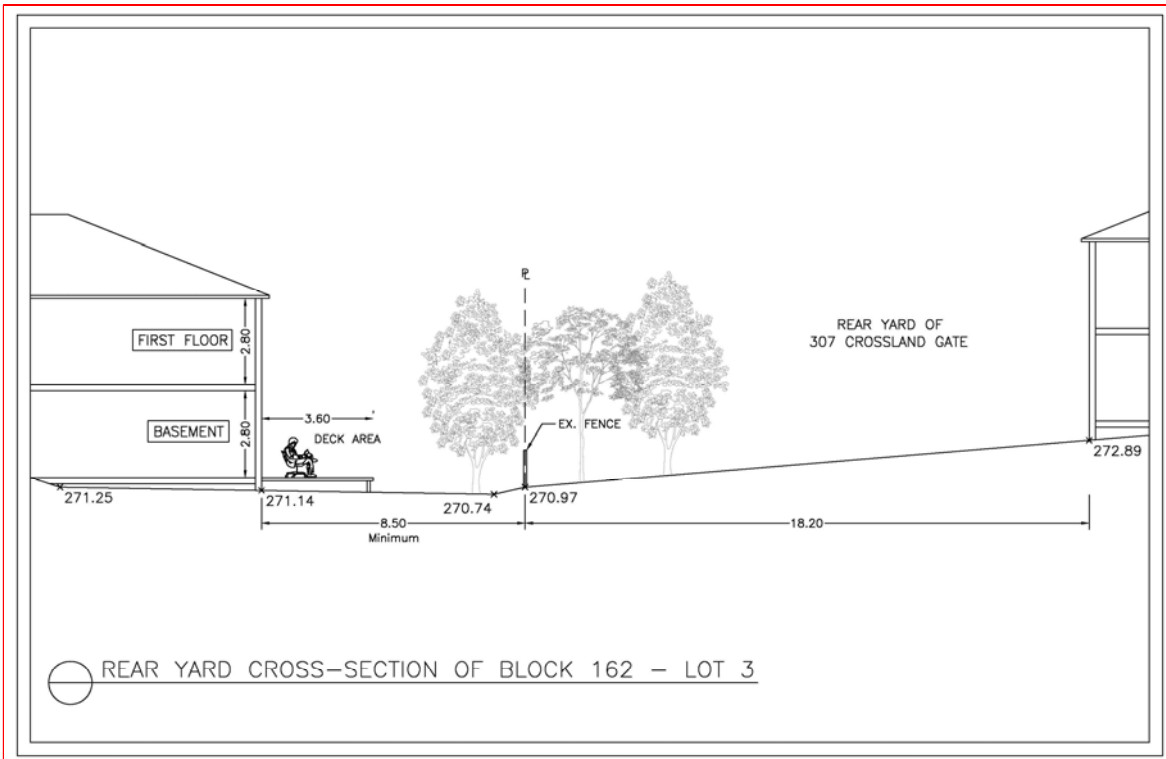


Figure 32: Cross Section of Block 162 (Lot 3)

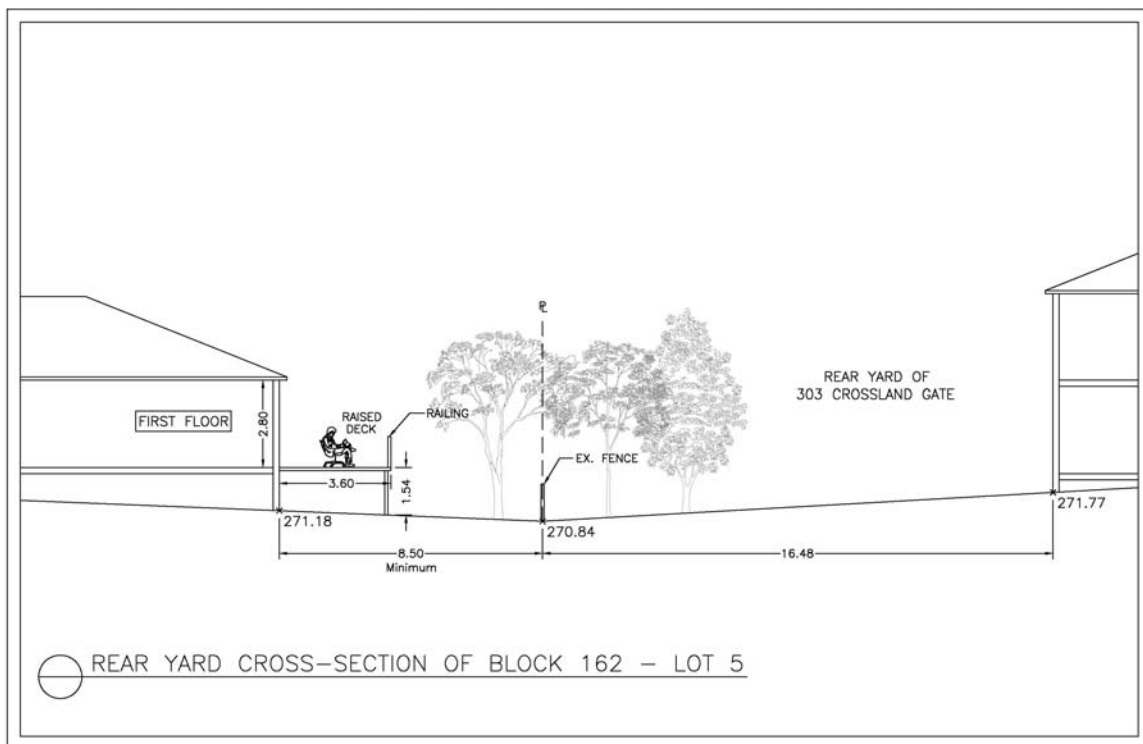


Figure 31: Cross Section of Block 162 (Lot 5)

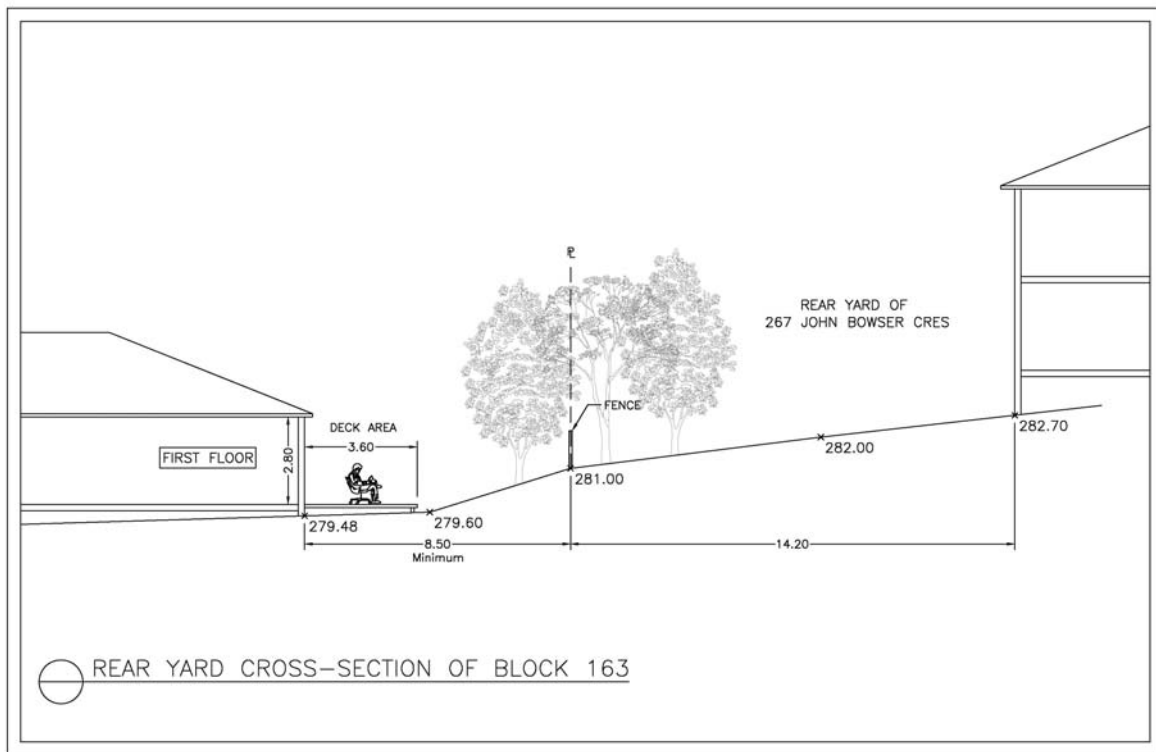


Figure 33: Cross Section of Block 163

## 4.5 INTERFACE 5 (MULTI-FAMILY)

### Description

This interface is between the single family lots fronting on the north leg of Bowser Crescent multi-family condominium apartment buildings in Block 164. It also includes the interface between a single family lot on Fairway Crescent with multi-family condominium townhousing in Block 160.

### Existing Conditions

A 1.2m high chainlink fence forms the boundary of the rear yards of existing singles. Many rear yards are landscaped with trees and shrubs; some have pools, play equipment, retaining walls, decks and sheds at or near the rear lot lines. Existing deciduous and coniferous trees on the proponent property adjacent to lots fronting onto Bowser Crescent are 35 years old and in good condition.



Figure 34: Existing Conditions along Section 5A

### Compatibility Plan

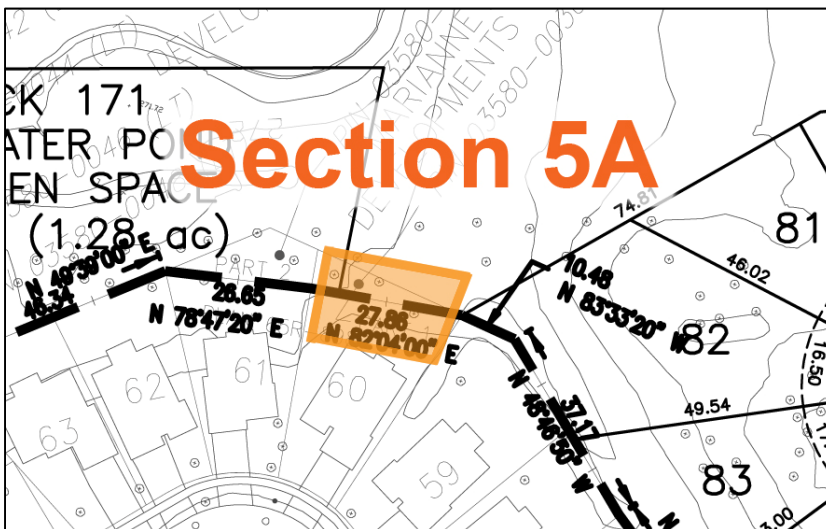


Figure 35: Location of Section 5A

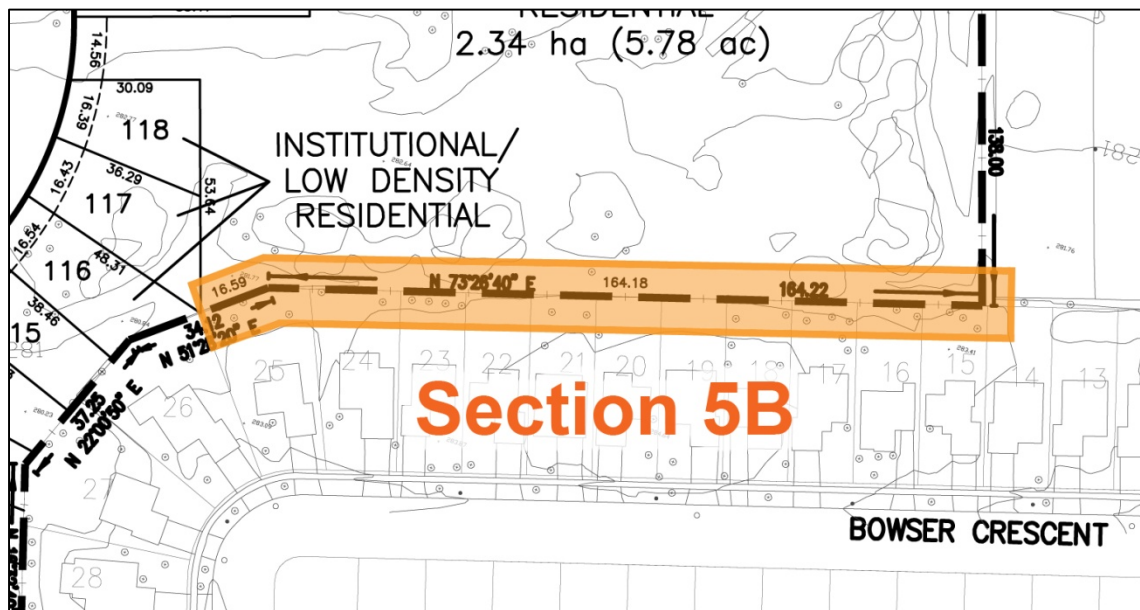


Figure 36: Location of Section 5B

Grading: Internal grading will ensure that all drainage is contained within the site and enter the public system through catchbasins on site. Existing grades on the proponent property adjacent to lots fronting onto Bowser Crescent will be retained to protect existing trees. A system of berms will contribute to the landscape while ensuring that drainage remains on the proposed property.

Separation: In Block 164, new apartment buildings up to 4 storeys in height will be located a minimum 30m from the property line with adjoining residential lots and buildings of 5 or 6 storeys will be located on minimum of 60m from such lots. In Block 160, new townhouse dwellings will be located a minimum of 12m from a lot containing an existing single detached dwelling.

Fencing: The existing chainlink fence will be removed from the property line. A 1.8m high wood privacy fence will be constructed 0.3m inside the proposed property.

Landscaping: A combination of high branching deciduous and 2.0m high coniferous trees will be planted on the berms to complement the existing vegetation and assist with screening of future buildings.

### Special Treatments

- In Block 160, landscaped open space will be a minimum of 12m in width abutting an existing single detached dwelling.
- In Block 164, the landscape buffer abutting the rear lot line will be a minimum of 30m wide.

Note: Landscaping details will be provided with the required Site Plan application.

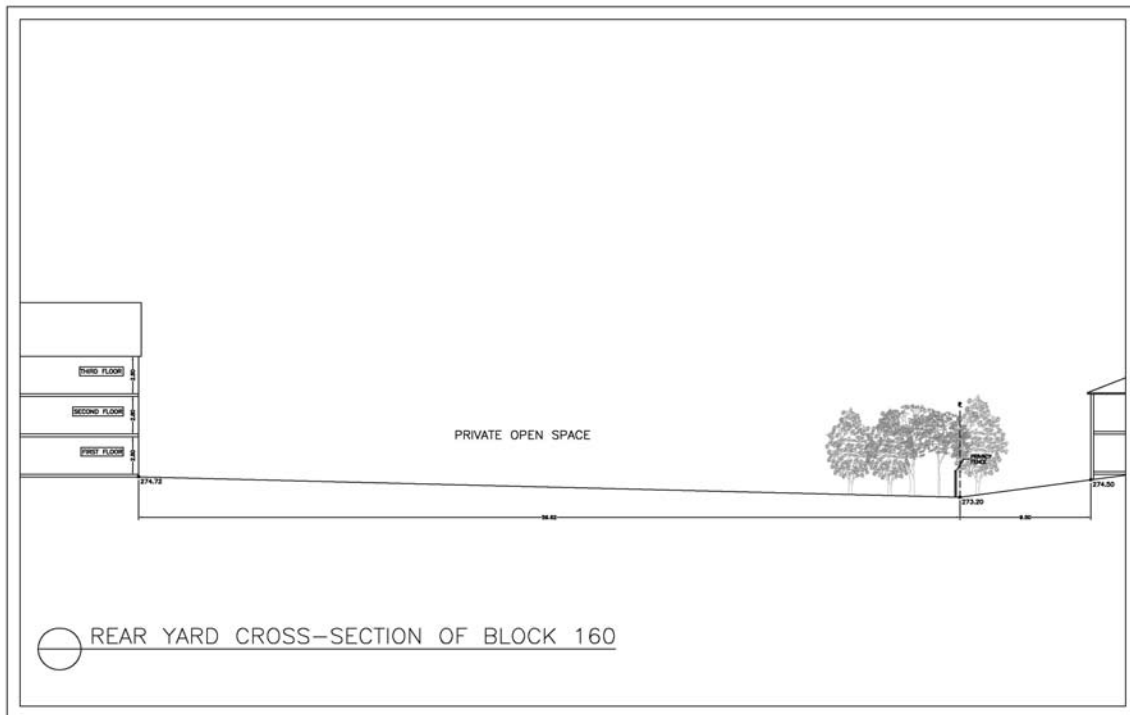


Figure 37: Cross Section of Block 160



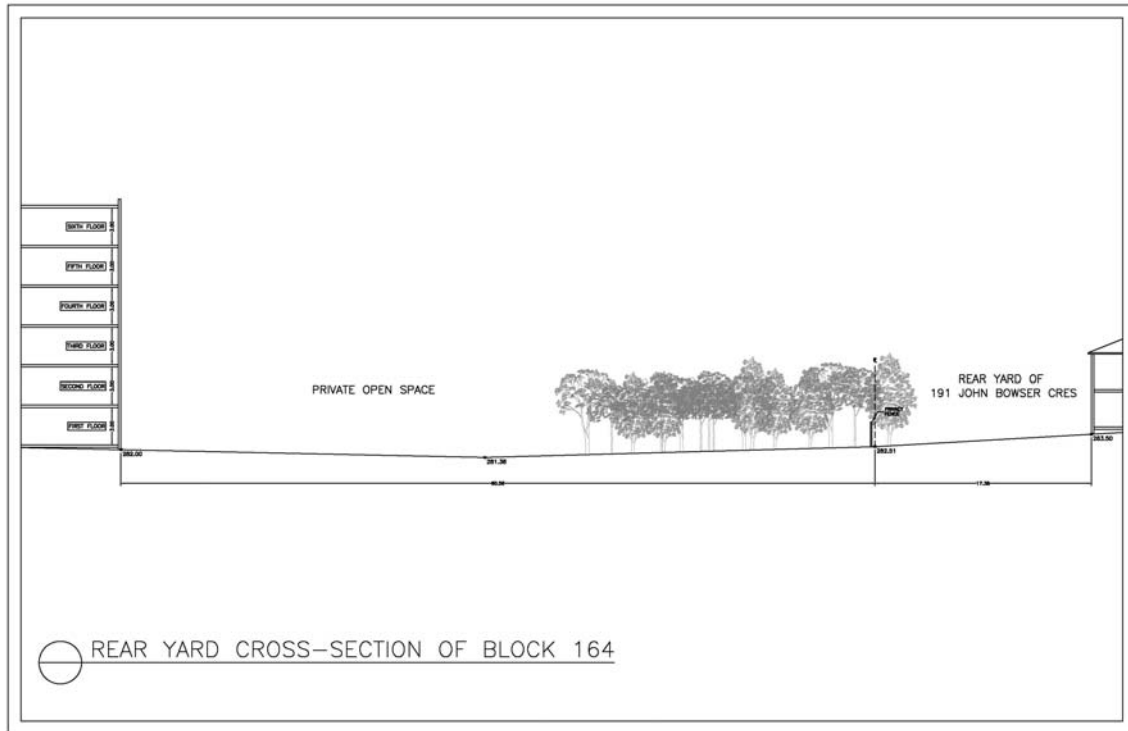


Figure 38: Cross Section of Block 164